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Melbourne
PROPERTY INSPECTIONS

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Residential Pre-purchase Inspection Report

Date of inspection: Tuesday, 10 February 2009 12:00 PM

Prepared within the limitations and conditions specified in
Australian Standard AS 4349.1 - 2007 Pre-purchase Inspections - Residential buildings



Property address	X/XX-XXX Xxxxxxx Street MORDIALLOC VIC 3195
Report prepared for	Xxxxxxxxx Sample 52 Xxxx Xxxx Avenue MORDIALLOC VIC 3195
Client's contact details	Mobile 4567 890 222 xxxxxxxx@three.com.au
Real estate agent's details	Name Xxxx Xxxxxxx Company Xxxxx Xxxxxxx
Type of inspection report	Standard Inspection, Complete
Persons present	Client
Weather Conditions	Fine
Inspector	Joseph Noto, BA App. Sci. (Construct. Mgt) (Eco.) Domestic Builder - Unlimited DB-U 28857

Disclaimer

The extent and thoroughness of this inspection has been limited by our reading of what was reasonable by way of time, intrusion and risk of doing physical damage to the property being inspected. We have not inspected woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the structure is free from defect. Identification of hazardous materials or situations that may be in the building or on or near the property is outside the scope of this inspection. This report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law, and is not a warranty against problems developing with the building in the future. This report does not include the identification of unauthorised building work or of work not compliant with building regulations. With respect to minor defects, the inspection is limited to reporting on their overall extent. It is not intended to detail each and every individual minor defect or imperfection. This service is provided on an independent professional basis. It seeks to present a factual, unbiased and balanced assessment. We have no financial interest in any work that may be recommended or in any share of commission if the property is sold.

Inspection Agreement

Pre-purchase Standard Inspection

Individual Title Property

Requirement for Inspection agreement

AS 4349.1 - 2007 requires that an inspection agreement be entered into between the inspector & the client prior to the conduct of the inspection. This agreement sets out specific limitations on the scope of the inspection and on limits that apply in carrying it out. Where specific State or Territory requirements apply in addition to the scope of work in this agreement, or where the inspector and client agree to additional matters being covered, that additional scope is listed at the end of this agreement. It is assumed that the existing use of the building will continue.

AS 4349.1 - 2007 requires that the basis for comparison is a building of similar age and similar type to the subject building and which is in reasonable condition, having been adequately maintained over the life of the building. This means that building being inspected may not comply with Australian Standards, building regulations or specific state or territory requirements applicable at the time of the inspection.

Purpose of inspection

The purpose of the inspection is to provide advice regarding the condition of the property at the time of the inspection.

Access limitations

- Areas where reasonable entry is denied to the inspector or where reasonable access is not available are excluded from and do not form part of the inspection. Access limitations may include legal right of entry, locked doors, security system, pets, furniture or other obstructions. Physical access limitations may include height, narrow boundary clearance, thick vegetation, small roof or crawl space and adverse weather conditions. The report shall identify any area or item within the scope of the inspection that was not inspected and the factor that prevented inspection.
- The extent of accessible areas shall be determined by the inspector at the time of inspection based on the conditions encountered at that time. The inspection shall include only accessible areas and areas that are within the inspector's line of sight and close enough to enable reasonable appraisal. Reasonable access includes a prerequisite that the minimum clearances specified in the table below are safely available.

DIMENSIONS FOR REASONABLE ACCESS

<u>Area</u>	<u>Access hole</u>	<u>Crawl space</u>	<u>Height</u>
Roof Interior	400mm x 500mm	600mm x 600mm	Accessible from a 3.6m ladder
Roof exterior	-	-	Accessible from a 3.6m ladder placed on the ground

NOTES:

- 1 Reasonable access does not include the cutting of access holes or the removal of screws and bolts or any other fastenings or sealants to access covers.
- 2 Sub-floor areas sprayed with chemicals are not be inspected unless it is safe to do so.

Conditions

An inspection report may be conditional on

- prevailing weather conditions or recent occupancy and use of services that might affect observations
- information provided by the client or the agents of the client
- deliberate concealment of defects
- any other relevant factor limiting the inspection

Scope of inspection

What is not reported on - general exclusions detailed in the standard AS 4349.1 - 2007

- Parts of a building that are under construction
- The inspection is not intended to include rigorous assessment of all building elements in a property
- Defects that would only be apparent under particular weather conditions or when using particular fittings & fixtures
- Defects not apparent due to occupancy or occupancy behavior eg non use of a leaking shower
- The inspection report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law and is not a warranty against problems developing with the building in the future
- Unauthorized building work or of work not compliant with building regulations
- Title and ownership matters, matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters
- Estimation of the cost of rectification of specific defects.

What is not reported on - specifics excluded by the standard AS 4349.1 - 2007

Footings below ground, concealed damp-proof course, electrical installations, operation of smoke detectors, light switches and fittings, TV, sound and communication and security systems, concealed plumbing, adequacy of roof drainage as installed, gas fittings and fixtures, air conditioning, automatic garage door mechanisms, swimming pools and associated filtration and similar equipment, the operation of fireplaces and solid fuel heaters, including chimneys and flues, alarm systems, intercom systems, soft floor coverings, electrical appliances including dishwashers, incinerators, ovens, ducted vacuum systems, paint coatings except external protective coatings, health hazards e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea formaldehyde), timber and metal framing sizes and adequacy, concealed tie downs and bracing, timber pest activity, other mechanical or electrical equipment (such as gates, inclinators), soil conditions, control joints, sustainable development provisions, concealed framing-timbers or any areas concealed by wall linings or sidings, landscaping, rubbish, floor cover, furniture and accessories, stored items, insulation, environmental matters e.g. BASIX, water tanks, BCA environmental provisions, energy efficiency, lighting efficiency.

What is reported on

- The inspection includes subjective appraisal by an inspector competent to assess the condition of residential buildings. It involves a subjective assessment so different inspectors or even the same inspector on a different occasion may reach different conclusions.
- The inspection comprises a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection.

The following areas shall be inspected where applicable:

- The interior of the building: ceilings; walls; floors; windows; doors & frames; kitchen; bathroom; WC; ensuite; laundry; stairs & damp problems
- The exterior of the building: walls (including lintels, claddings, doors & windows); timber or steel frames & structures; chimneys; stairs; balconies, verandas, patios, decks, suspended concrete floors, balustrades
- The roof exterior: roof (including tiles, shingles & slates, roof sheeting, gables, flashings); skylights, vents, flues; valleys; guttering; downpipes; eaves, fascias and barges
- The roof space: roof covering; roof framing; sarking; party walls; insulation
- The sub-floor space: timber floor (including supports, floor, ventilation, drainage, damp); suspended concrete floors
- The property within 30m of the house and within the boundaries of the site: car accommodation, detached laundry, ablution facilities and garden sheds; retaining walls (where supporting other structures and landscaping retaining walls > 700mm high); paths & driveways; steps ; fencing (general & swimming pool) ; surface water (drainage effectiveness)

The scope of the inspection includes variations to the exclusions in AS 4349.1 - 2007 as detailed below.

Nil

Agreement Accepted via Verbal

A handwritten signature in black ink, appearing to be 'Joseph Noto', written in a cursive style.

Joseph Noto

Wednesday, 11 February 2009

Xxxxxxxx Sample

Wednesday, 11 February 2009

Building Construction & General Access Limitations

Construction - Original House

Year Built	2009 (Approximate) Under construction
Number of Stories	2
Type of Building	Town house
Footings	Pier & Beam
Flooring	Strip timber
Wall Framing	Timber fame
External Walling	Articulated masonry
Internal Walling	Plasterboard
Windows	Timber framed
Roof Framing	Timber truss framing
Roof Cladding	Concrete roof tiles

Explanation of codes used in the inspection report

Defect types

Type	Defect	Identifier
A	Damage	The fabric of the element has ruptured or is otherwise broken.
B	Distortion Warping Twisting	An element or elements has been distorted or moved from the intended location.
C	Water penetration, Damp related	Moisture is present in unintended or unexpected locations.
D	Material Deterioration (rusting, rotting, corrosion, decay)	An element or component is subject to deterioration of material or materials.
E	Operational	An element or component does not operate as intended.
F	Installation (including omissions)	The element or component is subject to improper or ineffective installation inappropriate use, or missing components.

Defect Significance

Significance Code	Significance Description	Significance Explanation
MA	Major	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
MI	Minor	A defect is minor if it is primarily aesthetic or if it relates to a localized part of the building. While minor defects may be recorded, AS 4349.1 - 2007 does not require the inspector to comment on individual minor defects and imperfections (may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes, such as de-silvering of mirrors). Such defects can often be addressed with good home maintenance and when redecoration and renovation is undertaken. A poorly-maintained home could have many more minor defects than other homes of similar age & type of construction.
SH	Safety Hazard	A defect that in the opinion of the inspector is or may constitute a potentially serious safety hazard.
FI	Further Investigation	A defect or possible defect that in the opinion of the inspector warrants further investigation by an appropriate specialist.

Damage categories for cracking in masonry

Description of typical damage and required repair	Width limit	Damage category
Hairline cracks.	≤ 0.1 mm	0
Fine cracks that do not need repair.	≤ 1.0 mm	1
Cracks noticeable but easily filled. Doors and windows stick slightly.	≤ 5.0 mm	2
Cracks can be repaired and possibly a small amount of wall will need to be replaced. Door and windows stick, service pipes can fracture. Weather tightness often impaired.	> 5.0 mm, ≤ 15.0 mm (or a number of cracks 3.0 mm or more in one group).	3
Extensive repair work involving breaking out and replacing sections of walls, especially over doors and windows and door frames distort. Walls lean or bulge noticeably, some loss of bearing in beams. Service pipes disrupted.	> 15.0 mm, ≤ 25 mm but also depends on number of cracks.	4

Defects recorded during inspection

Interior - Bathroom

- Shower screen Acceptable
- Wash basin taps Acceptable
- Shower tiles Acceptable
- Floor Acceptable
- Shower taps Acceptable
- Bath taps Acceptable
- Ceilings & cornices Acceptable
- Walls Acceptable
- Bench top Acceptable
- Shower ventilation Acceptable
- Doors and frames Acceptable
- Bath Acceptable
- Light switches Acceptable
- Vanity cupboard Acceptable
- Floors Acceptable
- Wash basin Acceptable
- Molded shower Acceptable
- Power points Acceptable
- Windows Acceptable

Mirror Cracking Minor Defect Type:
As previously mentioned.

Tiles Tiles have been laid out of plumb Minor Defect Type: F
Tiles should be replaced. Occurs to bath tiles.



Tiles Grouting missing Minor Defect Type: F



Built in robe/cupboard Damage glass to over head cupboard Minor Defect Type: A
Requires replacement.



Interior - Bedroom 1

- Power points Acceptable
- Ceilings & cornices Acceptable
- Windows Acceptable
- Floors Acceptable
- Light switches Acceptable

Heating vents Require cleaning Minor Defect Type: A
Building rubbish requires cleaning. Occurs to many rooms.



Doors and frames Missing door stops resulting in damage Minor Defect Type: F
Damage has been created to the architrave of the built in robe as a door stop has not been installed. Door stops require installation to most rooms.



Built in robe/cupboard Damage to built in robe architrave Minor Defect Type: A
As previously mentioned in this report.

Walls Bow vertically Minor Defect Type: A
Internal plasterboard wall is bowed vertically. It seems as though this wall has not been straightened.



Interior - Bedroom 2

Light switches Acceptable
Windows Acceptable
Floors Acceptable
Doors and frames Acceptable
Power points Acceptable
Built in robe/cupboard Acceptable

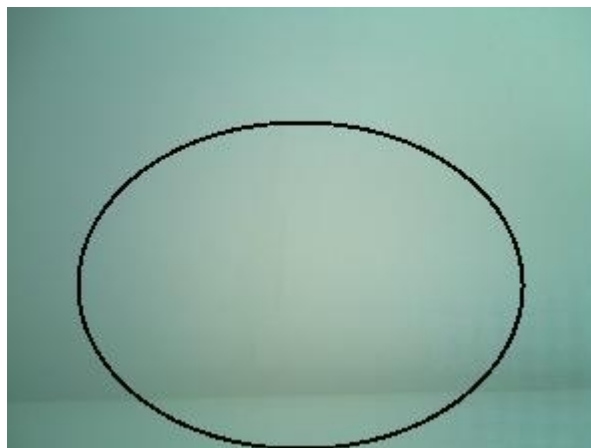
Ceilings & cornices Cracking Minor Defect Type: A

Movement of the sub-floor structure has created movement through the timber frame resulting in cracking to the internal plasterboard linings. Although this crack is minor, any crack should be monitored regularly and re-assessment should be carried out if the crack widens.



Ceilings & cornices Dampness and damp damage Minor Defect Type: C

Height restriction made inspection of the roof impossible without a boom lift. Repair to roof leak required.



Interior - Bedroom 3

Power points Acceptable
Ceilings & cornices Acceptable
Built in robe/cupboard Acceptable
Walls Acceptable
Floors Acceptable
Windows Acceptable
Light switches Acceptable

Doors and frames

Defective door hardware

Minor Defect

Type: F

Door does not latch.



Interior - Dine

Ceilings & cornices Acceptable

Power points Acceptable

Walls Acceptable

Windows Acceptable

Doors and frames Acceptable

Floors Acceptable

Light switches Acceptable

Interior - Kitchen

Light switches Acceptable

Floors Acceptable

Sink Acceptable

Walls Acceptable

Ceilings & cornices Acceptable

Tiles Acceptable

Taps Acceptable

Cupboards Acceptable

Windows Acceptable

Doors and frames Acceptable

Bench top Acceptable

Power points Acceptable

Built in robe/cupboard Acceptable

Interior - Laundry

Windows Acceptable

Ventilation Acceptable
Doors and frames Acceptable
Trough Acceptable
Tiles Acceptable
Trough cabinet/cupboard Acceptable
Power points Acceptable
Walls Acceptable
Trough taps Acceptable
Bench top Acceptable
Floors Acceptable
Laundry Floor Acceptable
Ceilings & cornices Acceptable

Interior - Lounge

Doors and frames Acceptable
Windows Acceptable
Power points Acceptable
Floors Acceptable
Light switches Acceptable
Walls Acceptable

Ceilings & cornices Cracking Minor Defect Type: A

Movement of the sub-floor structure has created movement through the timber frame resulting in cracking to the internal plasterboard linings. Although this crack is minor, any crack should be monitored regularly and re-assessment should be carried out if the crack widens.



Interior - Passages

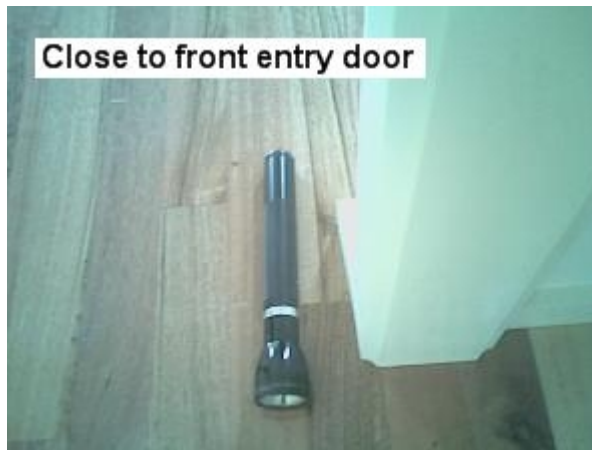
Ceilings & cornices Acceptable
Power points Acceptable
Built in robe/cupboard Acceptable
Floors Acceptable
Light switches Acceptable

Walls Bow vertically Major Defect Type: A

Rectification works are required. Installation of structural beyond the plasterboard and skirting does not satisfy Australian standards.



Close to front entry door



Doors and frames Architraves set at different levels Minor Defect Type: F
Architraves to bathroom, Bed 2 & Bed 3 are set at different levels and should be fixed.



Doors and frames

Door frame out of square

Minor Defect

Type: A

Door frame out of square as the surrounding wall frames are out of square.



Doors and frames

Missing door hardware

Minor Defect

Type: F

Further inspection will be required by the building surveyor as to the safety issues or regulations in the BCA.



Windows

Glass does not seem to be to safety standard for this application

Further Investigation

Type: F

The building surveyor needs to be contacted to check the BCA requirements for this application. The glass is not double glazed as it is down stairs through the light well and does not seem thick enough to withstand the weight of a child who may be off balance falling into the glass.



Interior - Separate WC

- WC Cistern tap Acceptable
- Power points Acceptable
- WC Cistern Acceptable
- WC wash basin taps Acceptable
- Windows Acceptable
- Doors and frames Acceptable
- Built in robe/cupboard Acceptable
- Light switches Acceptable
- Floors Acceptable
- WC wash basin Acceptable
- Walls Acceptable
- WC Pan Acceptable

WC tiling Gap between skirting tile and plasterboard wall Minor Defect Type: F

A slight bow in the wall exists and presumably walls have not been straightened. Caulking of this gap is required in any case.



WC tiling Uneven tiling Minor Defect Type: F

A mirror is to be inserted to the wall above the wash basin, however, tiles are laid out of level.



Ceilings & cornices
Requires patching.

Torn sheet at downlight

Minor Defect

Type: A



Interior - Stairs

Balustrade Acceptable

Landing Acceptable

Treads and risers Acceptable

Handrail Acceptable

Floor covering

Unacceptable fixing of carpet

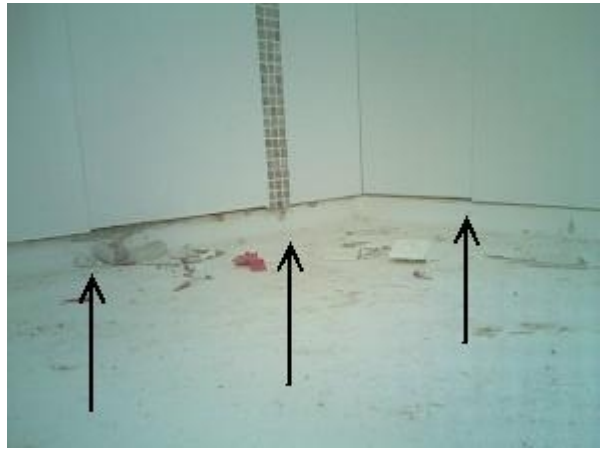
Minor Defect

Type: F



Interior - Ensuite bathroom

Tiles Uneven tiling Minor Defect Type: F
Rectification will involve re-tiling.



Fall into waste point No fall into waste point Minor Defect Type: F
Extensive repair works will be required to gain fall into this waste point. Tiles will need to removed etc.



Benchtop Not level Minor Defect Type: F



Walls

Damage

Minor Defect

Type: A

Plasterboard has been knocked and requires repair.



Interior - Garage

Ceilings & cornices

Damaged cornice

Minor Defect

Type: A

Has occurred due to settlement of foundations. Cracks should be monitored regularly and if widen to approx. 10mm should be re-assessed as possible rectification work may be required.





Exterior - Front Elevation

Perimeter paths Acceptable

Lintels Acceptable

Under floor ventilation Acceptable

Patio/veranda Acceptable

Windows	Gapping between edge of window & reveal	Minor Defect	Type: F
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Window frames have been installed hard up against one side of the opening and not centred within the opening, as a result large gap on one side of the window is apparent. Where this defect occurs windows should be re-installed centrally so that an even gap appears around the window frame for caulking.



Walling	Cracking and missing mortar	Minor Defect	Type: A
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Poor sand/cement/lime ratio often causes this defect to occur. Re-pointing is required.



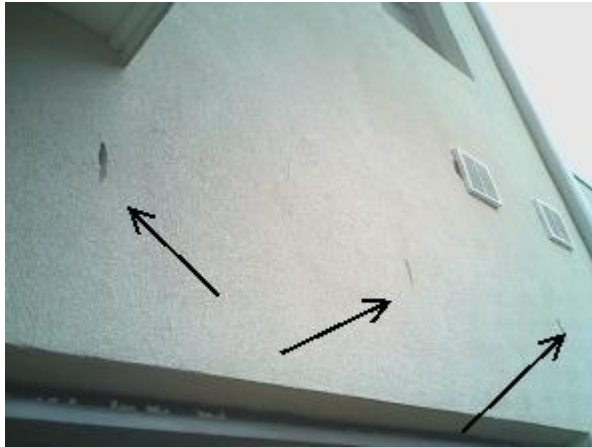
Walling Masonry out of required tolerance for bed joints Further Investigation Type: F

A pre-purchase inspection report cannot make comment on the Australian Standards for particular trades or services relevant to a building site, however, deviation of a bed joint from horizontal or of that specified in elevation cannot be more than + or - 3mm. This brickwork is not to standard. Occurs in other locations.



Sills Chipped/broken sill masonry Minor Defect Type: A

The timber door sill needs to be brought forward to cover the cap depicted in the photo below. As mentioned previously in this report the surrounding wall frame of this particular door is out of square and it may not be possible to bring the frame forward. A new sill is required to seal the gap effectively.



Walling

Damage to brick veneer

Minor Defect

Type: A



Exterior - Other Features

Electrical Acceptable

Plumbing

Hot water service installed incorrectly Further Investigation Type: F, F

Hot water service has been connected to a timber palling fence which acts as a boundary wall. The boundary wall is flimsy and will move constantly in the wind. Gas and water service pipes run through holes drilled through the timber decking. Movement may cause pipe connections to loosen over time causing leaking.

A licensed plumber should be contacted to make further inspection and advise on regulatory issues with this installation.





Exterior - Stairs, decks, balconies

Balcony soffit Soffit lining cut short Minor Defect Type: F
A quad will now be required as opposed to a silicone sealed finish.



Balcony soffit Damaged lining Minor Defect Type: A



Balustrade Caulking required Minor Defect Type: F
Occurs at both ends of balcony.



Exterior - Light well

Door sills Cracked Minor Defect Type: A



Roof - Roof Exterior

- Valleys Acceptable
- Vents and flues Acceptable
- Fascias Acceptable
- Eaves Acceptable
- Guttering Acceptable
- Down pipes Acceptable

Roof tiles Capping tiles are bowed Minor Defect Type: F

Installation of bowed timber to the roof framing and poor workmanship in laying ridge tiles have resulted in this defect.



Roof - Roof Void

- Roof wiring Acceptable
- Roof covering Acceptable
- Vermin Acceptable
- Items in roof space Acceptable
- Roof insulation Acceptable

Roof framing Insufficient framing Minor Defect Type: F

Roof battens are insufficient and in this case roof tiles close to the ridge have been supported by nails tacked into the roof frame.



Fire wall Gap between top of fire wall & underside of roofing to seal Minor Defect Type: F

Fire wall has not been built into the underside of the roof. This should not have passed the mandatory inspection. Requires replacement.



Sub-Floor - Sub-Floor Space

Footing edges Acceptable

Pole frame Acceptable

Moisture Acceptable

General state of the under floor space

Requires cleaning out.

Builder's rubbish under floor

Minor Defect

Type: F





Under timber floor

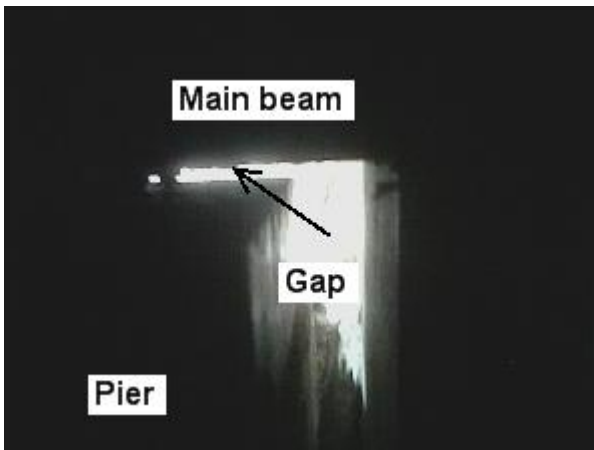
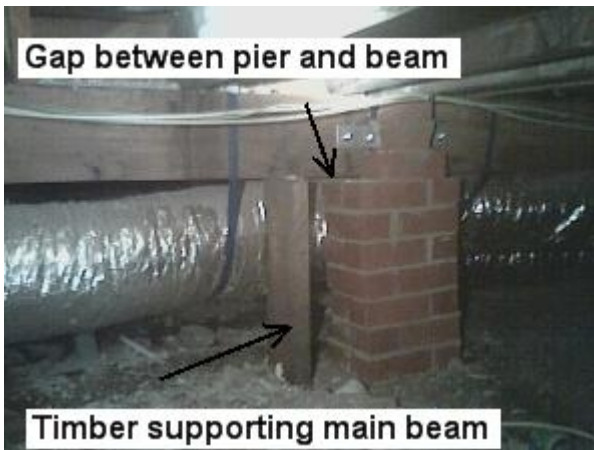
Masonry Piers

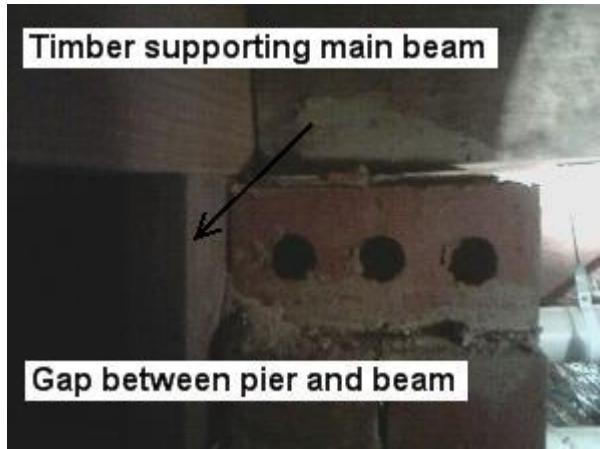
Major Defect

Type: F

Masonry piers do not bear the load of the main beam running through the sub-floor. In one instance cement sheet packers to approx. 1 inch in height sit between the pier and the beam and in other examples the beam is supported by timber either side of the pier. These defects should not have been passed at the mandatory frame stage inspection. Please refer to the photo's below.







Under timber floor

Gapping between main beam and floor joists

Minor Defect

Type: F

May create squeaking over time.





Air conditioning system Ducts not connected
Require connection before commissioning.

Minor Defect

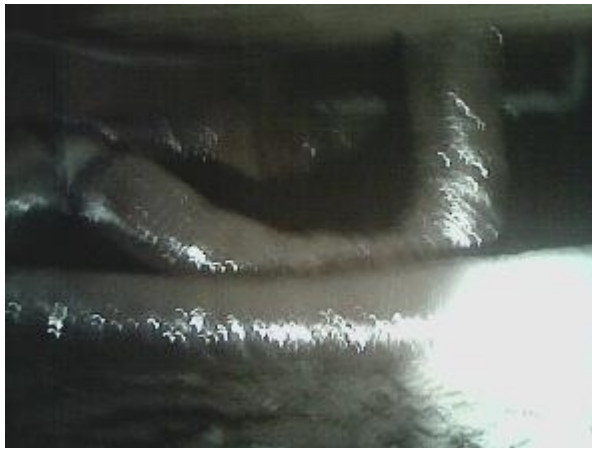
Type: F



Air conditioning system Ducts run along ground
Ducts will decay if left on natural ground.

Minor Defect

Type: F



Site - Site Management

Roof water disposal Acceptable

Trees Acceptable

Gardens & grounds Acceptable

Surface water No grade away from perimeter path Minor Defect Type: F
edges or provision for drainage
Earth should be graded away from the building to prevent water damage related defects.



Site - Grounds

Pathways Acceptable

Property fencing

Rear fence is loose

Minor Defect

Type: F

Summary

FI - Further Investigation

Interior > Passages > Windows > Glass does not seem to be to safety standard for this application

The building surveyor needs to be contacted to check the BCA requirements for this application. The glass is not double glazed as it is down stairs through the light well and does not seem thick enough to withstand the weight of a child who may be off balance falling into the glass.

Exterior > Front Elevation > Walling > Masonry out of required tolerance for bed joints

A pre-purchase inspection report cannot make comment on the Australian Standards for particular trades or services relevant to a building site, however, deviation of a bed joint from horizontal or of that specified in elevation cannot be more than + or - 3mm. This brickwork is not to standard. Occurs in other locations.

Exterior > Other Features > Plumbing > Hot water service installed incorrectly

Hot water service has been connected to a timber palling fence which acts as a boundary wall. The boundary wall is flimsy and will move constantly in the wind. Gas and water service pipes run through holes drilled through the timber decking. Movement may cause pipe connections to loosen over time causing leaking.

A licensed plumber should be contacted to make further inspection and advise on regulatory issues with this installation.

MA - Major Defect

Interior > Passages > Walls > Bow vertically

Rectification works are required. Installation of structural beyond the plasterboard and skirting does not satisfy Australian standards.

Sub-Floor > Sub-Floor Space > Under timber floor > Masonry Piers

Masonry piers do not bear the load of the main beam running through the sub-floor. In one instance cement sheet packers to approx. 1 inch in height sit between the pier and the beam and in other examples the beam is supported by timber either side of the pier. These defects should not have been passed at the mandatory frame stage inspection. Please refer to the photo's below.

MI - Minor Defect

Interior > Bathroom > Built in robe/cupboard > Damage glass to over head cupboard

Requires replacement.

Interior > Bathroom > Tiles > Grouting missing

.

Interior > Bathroom > Tiles > Tiles have been laid out of plumb

Tiles should be replaced. Occurs to bath tiles.

Interior > Bathroom > Mirror > Cracking

As previously mentioned.

Interior > Bedroom 1 > Walls > Bow vertically

Internal plasterboard wall is bowed vertically. It seems as though this wall has not been straightened.

Interior > Bedroom 1 > Doors and frames > Missing door stops resulting in damage

Damage has been created to the architrave of the built in robe as a door stop has not been installed. Door stops require installation to most rooms.

Interior > Bedroom 1 > Built in robe/cupboard > Damage to built in robe architrave

As previously mentioned in this report.

Interior > Bedroom 1 > Heating vents > Require cleaning

Building rubbish requires cleaning. Occurs to many rooms.

Interior > Bedroom 2 > Ceilings & cornices > Cracking

Movement of the sub-floor structure has created movement through the timber frame resulting in cracking to the internal plasterboard linings. Although this crack is minor, any crack should be monitored regularly and re-assessment should be carried out if the crack widens.

Interior > Bedroom 2 > Ceilings & cornices > Dampness and damp damage

Height restriction made inspection of the roof impossible without a boom lift. Repair to roof leak required.

Interior > Bedroom 3 > Doors and frames > Defective door hardware

Door does not latch.

Interior > Lounge > Ceilings & cornices > Cracking

Movement of the sub-floor structure has created movement through the timber frame resulting in cracking to the internal plasterboard linings. Although this crack is minor, any crack should be monitored regularly and re-assessment should be carried out if the crack widens.

Interior > Passages > Doors and frames > Architraves set at different levels

Architraves to bathroom, Bed 2 & Bed 3 are set at different levels and should be fixed.

Interior > Passages > Doors and frames > Door frame out of square

Door frame out of square as the surrounding wall frames are out of square.

Interior > Passages > Doors and frames > Missing door hardware

Further inspection will be required by the building surveyor as to the safety issues or regulations in the BCA.

Interior > Separate WC > Ceilings & cornices > Torn sheet at downlight

Requires patching.

Interior > Separate WC > WC tiling > Gap between skirting tile and plasterboard wall

A slight bow in the wall exists and presumably walls have not been straightened. Caulking of this gap is required in any case.

Interior > Separate WC > WC tiling > Uneven tiling

A mirror is to be inserted to the wall above the wash basin, however, tiles are laid out of level.

Interior > Stairs > Floor covering > Unacceptable fixing of carpet

Interior > Ensuite bathroom > Walls > Damage

Plasterboard has been knocked and requires repair.

Interior > Ensuite bathroom > Benchtop > Not level

Interior > Ensuite bathroom > Fall into waste point > No fall into waste point

Extensive repair works will be required to gain fall into this waste point. Tiles will need to be removed etc.

Interior > Ensuite bathroom > Tiles > Uneven tiling

Rectification will involve re-tiling.

Interior > Garage > Ceilings & cornices > Damaged cornice

Has occurred due to settlement of foundations. Cracks should be monitored regularly and if widen to approx. 10mm should be re-assessed as possible rectification work may be required.

Exterior > Front Elevation > Walling > Cracking and missing mortar

Poor sand/cement/lime ratio often causes this defect to occur. Re-pointing is required.

Exterior > Front Elevation > Windows > Gapping between edge of window & reveal

Window frames have been installed hard up against one side of the opening and not centred within the opening, as a result large gap on one side of the window is apparent. Where this defect occurs windows should be re-installed centrally so that an even gap appears around the window frame for caulking.

Exterior > Front Elevation > Sills > Chipped/broken sill masonry

The timber door sill needs to be brought forward to cover the cap depicted in the photo below. As mentioned previously in this report the surrounding wall frame of this particular door is out of square and it may not be possible to bring the frame forward. A new sill is required to seal the gap effectively.

Exterior > Front Elevation > Doors > Gapping between edge of frame & reveal

Door frames have been installed hard up against one side of the opening and not centred within the opening, as a result large gap on one side of the door is apparent. Where this defect occurs doors should be re-installed centrally so that an even gap appears around the door frame for caulking.

Exterior > Rear Elevation > Walling > Damage to brick veneer

Exterior > Rear Elevation > Walling > Weep holes obstructed

Weep holes have become blocked by the render finish. Weep holes allow for air flow through the timber frame to keep it dry and free of rot and for the egress of water.

Exterior > Stairs, decks, balconies > Balustrade > Caulking required

Occurs at both ends of balcony.

Exterior > Stairs, decks, balconies > Balcony soffit > Soffit lining cut short

A quad will now be required as opposed to a silicone sealed finish.

Exterior > Stairs, decks, balconies > Balcony soffit > Damaged lining

Exterior > Light well > Door sills > Cracked

Roof > Roof Exterior > Roof tiles > Capping tiles are bowed

Installation of bowed timber to the roof framing and poor workmanship in laying ridge tiles have resulted in this defect.

Roof > Roof Void > Roof framing > Insufficient framing

Roof battens are insufficient and in this case roof tiles close to the ridge have been supported by nails tacked into the roof frame.

Roof > Roof Void > Fire wall > Gap between top of fire wall & underside of roofing to seal

Fire wall has not been built into the underside of the roof. This should not have passed the mandatory inspection. Requires replacement.

Sub-Floor > Sub-Floor Space > General state of the under floor space > Builder's rubbish under floor

Requires cleaning out.

Sub-Floor > Sub-Floor Space > Under timber floor > Gapping between main beam and floor joists

May create squeaking over time.

Sub-Floor > Sub-Floor Space > Air conditioning system > Ducts run along ground

Ducts will decay if left on natural ground.

Sub-Floor > Sub-Floor Space > Air conditioning system > Ducts not connected

Require connection before commissioning.

Site > Site Management > Surface water > No grade away from perimeter path edges or provision for drainage

Earth should be graded away from the building to prevent water damage related defects.

Site > Grounds > Property fencing > Rear fence is loose

Conclusions

The scope of this inspection and type of report is set out in the inspection agreement as detailed at the beginning of this report.

That agreement sets out the limitations that are contained as AS 4349.1 for residential pre-purchase inspections. Other specific limitations are also listed where applicable.

The purpose of the inspection is to provide a general overview of defects in the home.

The summary section above includes a list of major & minor defects that should be taken into account in terms of addressing the specific matters or accepting that those defects exist.

Sub-floor structure defects are a major concern. Consultation with a registered building surveyor should be carried out.

Consultation with a licensed plumber is also required.