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Melbourne
PROPERTY INSPECTIONS

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Residential Pre-purchase Inspection Report

Date of inspection: Sunday, 01 February 2009 01:45 PM

Prepared within the limitations and conditions specified in
Australian Standard AS 4349.1 - 2007 Pre-purchase Inspections - Residential buildings



Property address	7 XXXXXXXX Street GLEN IRIS VIC 3146
Report prepared for	Sample Sample XXXXXXX Street MOONEE PONDS VIC 3039
Client's contact details	Mobile 1234 567 890 Home (03) 7345 6789 homebuyer@melbourne.com.au
Real estate agent's details	Name XXXXXXXX XXXXX Company XXXXXXXX XXXXXXXX Mobile 1234 567 890 Office (03) 1234 5678
Type of inspection report	Standard Inspection, Complete
Persons present	Pest Inspector, Agent's Representative
Weather Conditions	Fine
Inspector	Joseph Noto, BA App. Sci. (Construct. Mgt) (Eco.) Domestic Builder - Unlimited DB-U 28857

Disclaimer

The extent and thoroughness of this inspection has been limited by our reading of what was reasonable by way of time, intrusion and risk of doing physical damage to the property being inspected. We have not inspected woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the structure is free from defect. Identification of hazardous materials or situations that may be in the building or on or near the property is outside the scope of this inspection. This report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law, and is not a warranty against problems developing with the building in the future. This report does not include the identification of unauthorised building work or of work not compliant with building regulations. With respect to minor defects, the inspection is limited to reporting on their overall extent. It is not intended to detail each and every individual minor defect or imperfection. This service is provided on an independent professional basis. It seeks to present a factual, unbiased and balanced assessment. We have no financial interest in any work that may be recommended or in any share of commission if the property is sold.

Inspection Agreement

Pre-purchase Standard Inspection

Individual Title Property

Requirement for Inspection agreement

AS 4349.1 - 2007 requires that an inspection agreement be entered into between the inspector & the client prior to the conduct of the inspection. This agreement sets out specific limitations on the scope of the inspection and on limits that apply in carrying it out. Where specific State or Territory requirements apply in addition to the scope of work in this agreement, or where the inspector and client agree to additional matters being covered, that additional scope is listed at the end of this agreement. It is assumed that the existing use of the building will continue.

AS 4349.1 - 2007 requires that the basis for comparison is a building of similar age and similar type to the subject building and which is in reasonable condition, having been adequately maintained over the life of the building. This means that building being inspected may not comply with Australian Standards, building regulations or specific state or territory requirements applicable at the time of the inspection.

Purpose of inspection

The purpose of the inspection is to provide advice regarding the condition of the property at the time of the inspection.

Access limitations

- Areas where reasonable entry is denied to the inspector or where reasonable access is not available are excluded from and do not form part of the inspection. Access limitations may include legal right of entry, locked doors, security system, pets, furniture or other obstructions. Physical access limitations may include height, narrow boundary clearance, thick vegetation, small roof or crawl space and adverse weather conditions. The report shall identify any area or item within the scope of the inspection that was not inspected and the factor that prevented inspection.
- The extent of accessible areas shall be determined by the inspector at the time of inspection based on the conditions encountered at that time. The inspection shall include only accessible areas and areas that are within the inspector's line of sight and close enough to enable reasonable appraisal. Reasonable access includes a prerequisite that the minimum clearances specified in the table below are safely available.

DIMENSIONS FOR REASONABLE ACCESS

<u>Area</u>	<u>Access hole</u>	<u>Crawl space</u>	<u>Height</u>
Roof Interior	400mm x 500mm	600mm x 600mm	Accessible from a 3.6m ladder
Roof exterior	-	-	Accessible from a 3.6m ladder placed on the ground

NOTES:

- 1 Reasonable access does not include the cutting of access holes or the removal of screws and bolts or any other fastenings or sealants to access covers.
- 2 Sub-floor areas sprayed with chemicals are not be inspected unless it is safe to do so.

Conditions

An inspection report may be conditional on

- prevailing weather conditions or recent occupancy and use of services that might affect observations
- information provided by the client or the agents of the client
- deliberate concealment of defects
- any other relevant factor limiting the inspection

Scope of inspection

What is not reported on - general exclusions detailed in the standard AS 4349.1 - 2007

- Parts of a building that are under construction
- The inspection is not intended to include rigorous assessment of all building elements in a property
- Defects that would only be apparent under particular weather conditions or when using particular fittings & fixtures
- Defects not apparent due to occupancy or occupancy behavior eg non use of a leaking shower
- The inspection report is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law and is not a warranty against problems developing with the building in the future
- Unauthorized building work or of work not compliant with building regulations
- Title and ownership matters, matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters
- Estimation of the cost of rectification of specific defects.

What is not reported on - specifics excluded by the standard AS 4349.1 - 2007

Footings below ground, concealed damp-proof course, electrical installations, operation of smoke detectors, light switches and fittings, TV, sound and communication and security systems, concealed plumbing, adequacy of roof drainage as installed, gas fittings and fixtures, air conditioning, automatic garage door mechanisms, swimming pools and associated filtration and similar equipment, the operation of fireplaces and solid fuel heaters, including chimneys and flues, alarm systems, intercom systems, soft floor coverings, electrical appliances including dishwashers, incinerators, ovens, ducted vacuum systems, paint coatings except external protective coatings, health hazards e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea formaldehyde), timber and metal framing sizes and adequacy, concealed tie downs and bracing, timber pest activity, other mechanical or electrical equipment (such as gates, inclinators), soil conditions, control joints, sustainable development provisions, concealed framing-timbers or any areas concealed by wall linings or sidings, landscaping, rubbish, floor cover, furniture and accessories, stored items, insulation, environmental matters e.g. BASIX, water tanks, BCA environmental provisions, energy efficiency, lighting efficiency.

What is reported on

- The inspection includes subjective appraisal by an inspector competent to assess the condition of residential buildings. It involves a subjective assessment so different inspectors or even the same inspector on a different occasion may reach different conclusions.
- The inspection comprises a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection.

The following areas shall be inspected where applicable:

- The interior of the building: ceilings; walls; floors; windows; doors & frames; kitchen; bathroom; WC; ensuite; laundry; stairs & damp problems
- The exterior of the building: walls (including lintels, claddings, doors & windows); timber or steel frames & structures; chimneys; stairs; balconies, verandas, patios, decks, suspended concrete floors, balustrades
- The roof exterior: roof (including tiles, shingles & slates, roof sheeting, gables, flashings); skylights, vents, flues; valleys; guttering; downpipes; eaves, fascias and barges
- The roof space: roof covering; roof framing; sarking; party walls; insulation
- The sub-floor space: timber floor (including supports, floor, ventilation, drainage, damp); suspended concrete floors
- The property within 30m of the house and within the boundaries of the site: car accommodation, detached laundry, ablution facilities and garden sheds; retaining walls (where supporting other structures and landscaping retaining walls > 700mm high); paths & driveways; steps ; fencing (general & swimming pool) ; surface water (drainage effectiveness)

The scope of the inspection includes variations to the exclusions in AS 4349.1 - 2007 as detailed below.

Nil

Agreement Accepted via Signed agreement

A handwritten signature in black ink, consisting of a large, sweeping loop followed by a horizontal line extending to the right.

Joseph Noto

Sunday, 01 February 2009

A handwritten signature in black ink, featuring a large, stylized 'S' followed by a series of loops and a vertical line.

Sample Sample

Sunday, 01 February 2009

Building Construction & General Access Limitations

Construction - Original House

Year Built	1930 (Approximate) Advised by agent
Number of Stories	2
Type of Building	Freestanding house
Footings	Concrete strip perimeter footings with timber stumps supporting flooring & inter
Flooring	Strip timber
Wall Framing	Timber fame
External Walling	Articulated masonry, Weatherboard
Internal Walling	Plastered, Plasterboard
Windows	Timber framed
Roof Framing	Conventional timber framing
Roof Cladding	Terracotta tiles

Construction - 1st Level

Year Built	1975 (Approximate) Advised by agent
Number of Stories	1
Footings	N/A
Flooring	Strip timber
Wall Framing	Timber fame
External Walling	Weatherboard, Non-articulated masonry
Internal Walling	Plasterboard
Windows	Timber framed
Roof Framing	Conventional timber framing
Roof Cladding	Terracotta tiles

General Access Limitations

External

- Height limitations

Under Floor

- Limited access to front of house

Explanation of codes used in the inspection report

Defect types

Type	Defect	Identifier
A	Damage	The fabric of the element has ruptured or is otherwise broken.
B	Distortion Warping Twisting	An element or elements has been distorted or moved from the intended location.
C	Water penetration, Damp related	Moisture is present in unintended or unexpected locations.
D	Material Deterioration (rusting, rotting, corrosion, decay)	An element or component is subject to deterioration of material or materials.
E	Operational	An element or component does not operate as intended.
F	Installation (including omissions)	The element or component is subject to improper or ineffective installation inappropriate use, or missing components.

Defect Significance

Significance Code	Significance Description	Significance Explanation
MA	Major	A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
MI	Minor	A defect is minor if it is primarily aesthetic or if it relates to a localized part of the building. While minor defects may be recorded, AS 4349.1 - 2007 does not require the inspector to comment on individual minor defects and imperfections (may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes, such as de-silvering of mirrors). Such defects can often be addressed with good home maintenance and when redecoration and renovation is undertaken. A poorly-maintained home could have many more minor defects than other homes of similar age & type of construction.
SH	Safety Hazard	A defect that in the opinion of the inspector is or may constitute a potentially serious safety hazard.
FI	Further Investigation	A defect or possible defect that in the opinion of the inspector warrants further investigation by an appropriate specialist.

Damage categories for cracking in masonry

Description of typical damage and required repair	Width limit	Damage category
Hairline cracks.	≤ 0.1 mm	0
Fine cracks that do not need repair.	≤ 1.0 mm	1
Cracks noticeable but easily filled. Doors and windows stick slightly.	≤ 5.0 mm	2
Cracks can be repaired and possibly a small amount of wall will need to be replaced. Door and windows stick, service pipes can fracture. Weather tightness often impaired.	> 5.0 mm, ≤ 15.0 mm (or a number of cracks 3.0 mm or more in one group).	3
Extensive repair work involving breaking out and replacing sections of walls, especially over doors and windows and door frames distort. Walls lean or bulge noticeably, some loss of bearing in beams. Service pipes disrupted.	> 15.0 mm, ≤ 25 mm but also depends on number of cracks.	4

Defects recorded during inspection

Interior - Bathroom

Shower screen Acceptable

Bath tiles Acceptable

Bath Acceptable

Bench top Acceptable

Vanity cupboard Acceptable

Bidet taps Acceptable

Light switches Acceptable

Power points Acceptable

Floors Acceptable

Tiles Acceptable

Ceilings & cornices Acceptable

Mirror Acceptable

Floor Acceptable

Bidet pan Acceptable

WC Cistern Acceptable

WC Pan Acceptable

Bath screen Acceptable

WC tiling Acceptable

WC Cistern tap Acceptable

Wash basin Acceptable

Shower ventilation No exhaust fan Minor Defect Type: A

Bath taps Seized hot tap Further Investigation Type: A

Further investigation required by a licensed plumber.



Shower tiles Missing Minor Defect Type: A

Water egress can cause rot to structural timber frame and sub-floor structure. Tiles should be re-applied and silicone sealant should be applied. Occurs to the shower in the laundry area.



Windows Out of square Minor Defect Type: A

Timber framed windows commonly shrink and expand through the warm and cold seasons and this may be the case in this particular example. However, this defect has more probably occurred as a result of movement in the foundations and the sub-floor structure of the home. The cracking between the windows is further testament of sub-flor structure movement transferring through the wall frames and it affect on this particular window. Refer to the relevant photo under Bathroom - Walls - Cracking category 1.



Waste pipes Corroded Further Investigation Type: D

Waste pipe to toilet in main bathroom has corroded and may require replacement in the near future. Further investigation is required by a licensed plumber.



Walls Cracking - category 1 Minor Defect Type: A

Movement of the sub-floor structure has transferred through to internal walls resulting in minor cracking to plastered finishes. Additionally, rectification works are required to the sub-floor area. Please refer to the sub-floor section of this report.



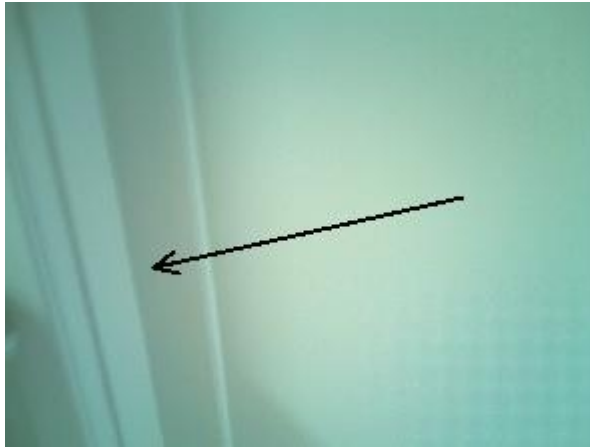
Doors and frames

Door frame out of square

Minor Defect

Type: A

Movement in the sub-floor structure has caused this defect. Movement of the timber wall frame has occurred and as door frames are connected to the wall frame this particular door has moved out of square to the point where it does not fully shut.



Wash basin taps Rust tainted water from cold tap Major Defect Type: D
Rust tainted water disperses from the cold water tap to the basin in the bathroom. Water service pipes require replacement. Further investigation is required by a licensed plumber. Occurs to the main bathroom on the ground level.



Wash basin taps Seized cold tap Minor Defect Type: A
Further investigation required by a licensed plumber. Occurs to the bathroom on the 1st level.



Interior - Bedroom 1

- Power points Acceptable
- Built in robe/cupboard Acceptable
- Light switches Acceptable

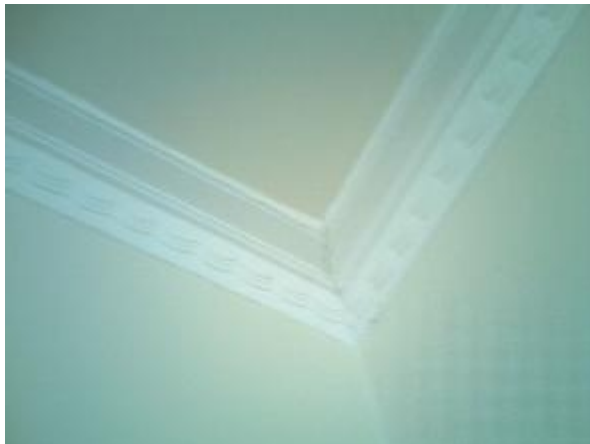
Walls Cracking - category 1 Minor Defect Type: A
Movement of the sub-floor structure has transferred through to internal walls resulting in minor cracking to plastered finishes. Additionally, rectification works are required to the sub-floor area. Please refer to the sub-floor section of this report.



Ceilings & cornices Cornice damage Minor Defect Type: A
Movement of the sub-floor structure has created movement through the timber frame resulting in cracking to the internal plasterboard linings. Please refer to the sub-floor section of this report.



Ceilings & cornices Cornice corner separation/splitting Minor Defect Type: A
Movement of the sub-floor structure has created movement through the timber frame resulting in cracking to the internal plasterboard linings. Although this crack is minor, any crack should be monitored regularly. Refer to the sub-floor section of this report.



Floors Out of level Minor Defect Type: A

Doors and frames Door frame out of square Minor Defect Type: A
Movement in the sub-floor structure has caused this defect. Movement of the timber wall frame has occurred and as door frames are connected to the wall frame this particular door has moved out of square to the point where it does not fully shut.



Interior - Bedroom 2

Light switches Acceptable

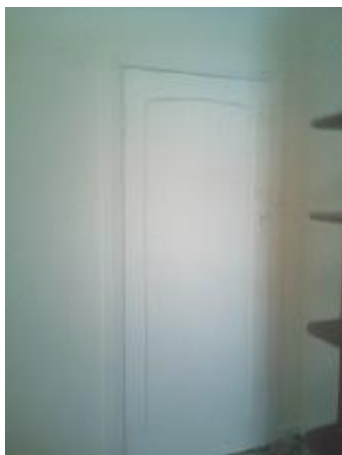
Chimney Acceptable

Built in robe/cupboard Acceptable

Windows Acceptable

Power points Acceptable

Doors and frames Door frame out of square Minor Defect Type: A
Movement in the sub-floor structure has caused this defect. Movement of the timber wall frame has occurred and as door frames are connected to the wall frame this particular door has moved out of square to the point where it does not fully shut.



Floors Out of level Minor Defect Type: A

Walls Cracking - category 1 Minor Defect Type: A
Movement of the sub-floor structure has transferred through to internal walls resulting in minor cracking to plastered finishes. Additionally, rectification works are required to the sub-floor area. Please refer to the sub-floor section of this report.



Ceilings & cornices Dampness and damp damage Minor Defect Type: C

Cracking through roof tiles was not cited. However, some tiles require re-seating. Particular storms with enough strength may force water through these tiles that require re-seating resulting in this leak.



Interior - Bedroom 3

Power points Acceptable

Doors and frames Acceptable

Light switches Acceptable

Floors Out of level Minor Defect Type: A

Ceilings & cornices Cornice damage Minor Defect Type: A
Movement of the sub-floor structure has created movement through the timber frame resulting in cracking to the internal plasterboard linings. Please refer to the sub-floor section of this report.



Windows Out of square Minor Defect Type: A
Timber framed windows commonly shrink and expand through the warm and cold seasons and this may be the case in this particular example. However, this defect has more probably occurred as a result of movement in the foundations and the sub-floor structure of the home. Refer to the sub-floor section of this report.



Walls Cracking - category 1 Minor Defect Type: A
Movement of the sub-floor structure has transferred through to internal walls resulting in minor cracking to plastered finishes. Additionally, rectification works are required to the sub-floor area. Please refer to the sub-floor section of this report.



Walls

Cracking - category 2

Minor Defect

Type: A

Movement of the sub-floor structure has transferred through to internal walls resulting in minor cracking to plastered finishes. Additionally, rectification works are required to the sub-floor area. Please refer to the sub-floor section of this report.



Interior - Bedroom 4

Doors and frames Acceptable

Light switches Acceptable

Built in robe/cupboard Acceptable

Power points Acceptable

Ceilings & cornices Acceptable

Windows

Window hardware defective

Minor Defect

Type: A



Floors Out of level Minor Defect Type: A

Walls Cracking - category 1 Minor Defect Type: A

Movement of the sub-floor structure has transferred through to internal walls resulting in minor cracking to plastered finishes. Additionally, rectification works are required to the sub-floor area. Please refer to the sub-floor section of this report.



Interior - Dine

Power points Acceptable

Walls Acceptable

Chimney Acceptable

Light switches Acceptable

Windows Acceptable

Floors Out of level Minor Defect Type: A

Doors and frames Door frame out of square Minor Defect Type: A

Movement in the sub-floor structure has caused this defect. Movement of the timber wall frame has occurred and as door frames are connected to the wall frame this particular door has moved out of square to the point where it does not fully shut.



Ceilings & cornices

Cornice damage

Minor Defect

Type: A

Movement of the sub-floor structure has created movement through the timber frame resulting in cracking to the internal plasterboard linings. Please refer to the sub-floor section of this report.



Interior - Games Room

Floors Acceptable

Windows Acceptable

Light switches Acceptable

Doors and frames Acceptable

Power points Acceptable

Walls Acceptable

Built in robe/cupboard Acceptable

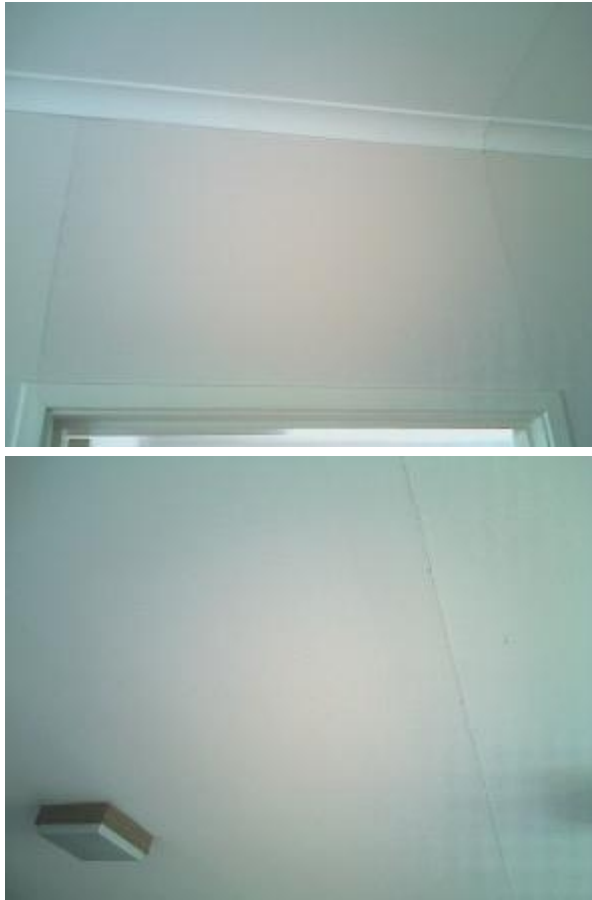
Ceilings & cornices

Splitting ceiling at joint

Minor Defect

Type: A

Movement of the sub-floor structure has created movement through the timber frame resulting in cracking to the internal plasterboard linings. Refer to the sub-floor section of this report.



Interior - Kitchen

Cupboards Acceptable

Windows Acceptable

Sink Acceptable

Walls Acceptable

Light switches Acceptable

Ceilings & cornices Acceptable

Power points Acceptable

Doors and frames Acceptable

Taps Acceptable

Tiles Acceptable

Built in robe/cupboard Acceptable

Bench top

Sealant missing

Minor Defect

Type: A

Water can pass through beyond the tile splashback causing timber rot to cabinetry and structural timber frame.



Plumbing Leak at waste pipe Further Investigation Type: A
Further investigation required by a licensed plumber.

Floors Out of level Minor Defect Type: A

Interior - Laundry

- Ceilings & cornices Acceptable
- Power points Acceptable
- Built in robe/cupboard Acceptable
- Trough taps Acceptable
- Laundry Floor Acceptable
- Floors Acceptable
- Tiles Acceptable
- Trough Acceptable
- Doors and frames Acceptable
- Mirror Acceptable
- Windows Acceptable
- Bench top Acceptable
- Light switches Acceptable

Trough cabinet/cupboard Corroded metal shelf Minor Defect Type: D
Previous water leaks have occurred. Plumbing has been rectified and is acceptable at this stage.



Ventilation No exhaust fan Minor Defect Type: A

Walls Cracking - category 1 Minor Defect Type: A

Movement of the sub-floor structure has transferred through to internal walls resulting in minor cracking to plastered finishes. Additionally, rectification works are required to the sub-floor area. Please refer to the sub-floor section of this report.



Interior - Lounge

Windows Acceptable

Power points Acceptable

Light switches Acceptable

Doors and frames Door frame out of square Minor Defect Type: A

Movement in the sub-floor structure has caused this defect. Movement of the timber wall frame has occurred and as door frames are connected to the wall frame this particular door has moved out of square to the point where it does not fully shut.



Walls Cracking - category 1 Minor Defect Type: A

Movement of the sub-floor structure has transferred through to internal walls resulting in minor cracking to plastered finishes. Additionally, rectification works are required to the sub-floor area. Please refer to the sub-floor section of this report.



Floors Out of level Minor Defect Type: A

Ceilings & cornices Cracking Minor Defect Type: A

These cracks have most probably occurred due to the 1st level extension. Where additional dead or wind loads may have created movement to ceiling joists. Additionally, the movement in the sub-floor area may have also created this defect. Please refer to the sub-floor section of this report.





Ceilings & cornices

Cornice damage

Minor Defect

Type: A

Movement of the sub-floor structure has created movement through the timber frame resulting in cracking to the internal plasterboard linings. Please refer to the sub-floor section of this report.



Interior - Passages

Ceilings & cornices Acceptable

Light switches Acceptable

Power points Acceptable

Built in robe/cupboard Acceptable

Windows Acceptable

Doors and frames Acceptable

Floors Out of level Minor Defect Type: A

Walls Cracking - category 2 Minor Defect Type: A

Movement of the sub-floor structure has transferred through to internal walls resulting in minor cracking to plastered finishes. Additionally, rectification works are required to the sub-floor area. Please refer to the sub-floor section of this report.



Interior - Separate WC

WC wash basin taps Acceptable

Light switches Acceptable

WC Pan Acceptable

Doors and frames Acceptable

WC Cistern tap Acceptable

Windows Acceptable

Walls Acceptable

Ceilings & cornices Acceptable

Floors Acceptable

Power points Acceptable

WC Cistern Acceptable

WC wash basin Acceptable

WC tiling Acceptable

Interior - Stairs

Handrail Acceptable

Landing Acceptable

Treads and risers Acceptable

Balustrade Acceptable

Floors Out of level Major Defect Type: A

Floors are out of level by inches in some area's. More than stated in the standard codes and tolerances publication. Re-stumping is required and possible repair or replacement of sub-structure timbers may also be required. This section of floor sits directly above the area where the bearer has slipped off the stump as stated in the sub-floor structure.



Exterior - Rear Elevation

Walling

Cracking - category 2

Minor Defect

Type:

Most cracks depicted fall within the Category 2 or below cracking code. All cracks have been caused by movement of foundations. These conditions are known as abnormal conditions for the concrete footings or stumps to operate in and unfortunately create cracking to internal and external brick and plasterboard linings.

At this stage underpinning to the walls shown on these photo's is not required, however, regular monitoring should take place and further assessment should take place if cracks continue to open.







Roof - Roof Exterior

Roof tiles Capping mortar cracked Minor Defect Type: A

Roof tiles require re-pointing in certain locations around the roof area. Some of area's of the roof line were inaccessible, in particular the 1st level roof area.



Flashings Flashing at chimney corroded Minor Defect Type: D

Rectification warranted to prevent possible leakage.



Valleys Corrosion in valleys Minor Defect Type: D
Valley to the front elevation will require replacement in the near future.



Roof - Roof Void

Items in roof space Asbestos flue Further Investigation Type: F
Possible asbestos flue. Further investigation required by a licensed asbestos inspector.



Sub-Floor - Sub-Floor Space

Under timber floor Borer damage to under floor timbers Minor Defect Type: A

Borer damage requires treatment as borers may re-occur. No structural damage has been caused at this stage. Refer to the pest report.



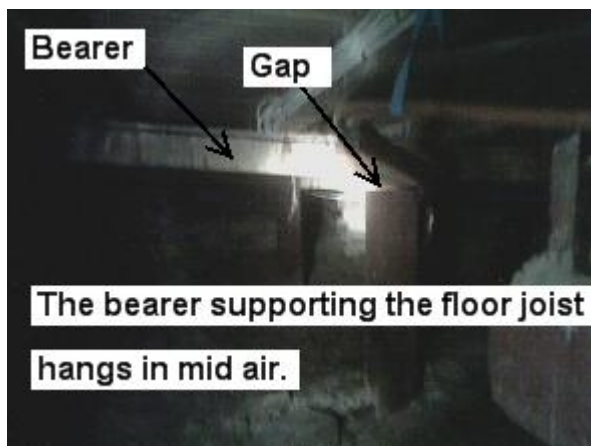
Under timber floor

Rot to under floor timbers

Major Defect

Type: D

Timber stumps are rotted through at their bases. Re-stumping is required to all area's of the sub-floor. In particular instances stumps have subsided and/or moved severley off plumb. In these instances the floor bearers hang in mid air without any support from the stump. This has caused excessive movment through the timber frame of the home causing defects such as out of level floors, door & window frames becoming out of square and cracking to internal plastered and plasterboard linings.





General state of the under floor space

Rodent evidence under floor

Minor Defect

Type: E

General state of the under floor space

Asbestos

Further Investigation

Type: F

There is a possibility that old service pipes/flues found stored under the home contain asbestos. Further investigation is required by a licensed asbestos inspector.



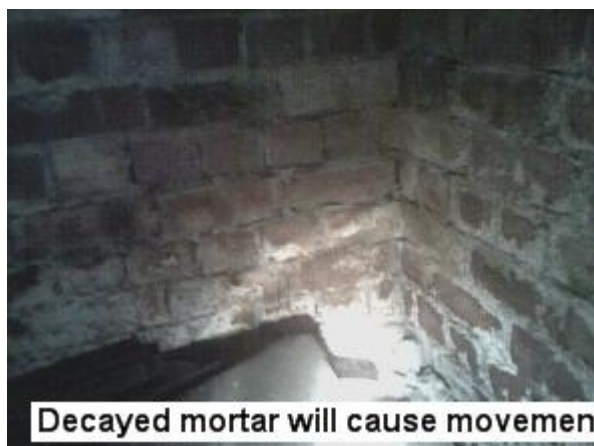
Moisture

Rising damp

Major Defect

Type: C

In this case rising damp has begun deteriorating the sub-floor masonry walls. Floor bearers are bear load onto these walls. Rectification of rising damp is required immediately.



Summary

FI - Further Investigation

Interior > Bathroom > Bath taps > Seized hot tap

Further investigation required by a licensed plumber.

Interior > Bathroom > Waste pipes > Corroded

Waste pipe to toilet in main bathroom has corroded and may require replacement in the near future. Further investigation is required by a licensed plumber.

Interior > Kitchen > Plumbing > Leak at waste pipe

Further investigation required by a licensed plumber.

Roof > Roof Void > Items in roof space > Asbestos flue

Possible asbestos flue. Further investigation required by a licensed asbestos inspector.

Sub-Floor > Sub-Floor Space > General state of the under floor space > Asbestos

There is a possibility that old service pipes/flues found stored under the home contain asbestos. Further investigation is required by a licensed asbestos inspector.

MA - Major Defect

Interior > Bathroom > Wash basin taps > Rust tainted water from cold tap

Rust tainted water disperses from the cold water tap to the basin in the bathroom. Water service pipes require replacement. Further investigation is required by a licensed plumber. Occurs to the main bathroom on the ground level.

Interior > Stairs > Floors > Out of level

Floors are out of level by inches in some area's. More than stated in the standard codes and tolerances publication. Re-stumping is required and possible repair or replacement of sub-structure timbers may also be required. This section of floor sits directly above the area where the bearer has slipped off the stump as stated in the sub-floor structure.

Sub-Floor > Sub-Floor Space > Moisture > Rising damp

In this case rising damp has begun deteriorating the sub-floor masonry walls. Floor bearers are bear load onto these walls. Rectification of rising damp is required immediately.

Sub-Floor > Sub-Floor Space > Under timber floor > Rot to under floor timbers

Timber stumps are rotted through at their bases. Re-stumping is required to all area's of the sub-floor. In particular instances stumps have subsided and/or moved severley off plumb. In these instances the floor bearers hang in mid air without any support from the stump. This has caused excessive movment through the timber frame of the home causing defects such as out of level floors, door & window frames becoming out of square and cracking to internal plastered and plasterboard linings.

MI - Minor Defect

Interior > Bathroom > Walls > Cracking - category 1

Movement of the sub-floor structure has transferred through to internal walls resulting in minor cracking to plastered finishes. Additionally, rectification works are required to the sub-floor area. Please refer to the sub-floor section of this report.

Interior > Bathroom > Windows > Out of square

Timber framed windows commonly shrink and expand through the warm and cold seasons and this may be the case in this particular example. However, this defect has more probably occured as a result of movement in the foundations and the sub-floor structure of the home. The cracking between the windows is further testament of sub-flor structure movement transferring through the wall frames and it affect on this particular window. Refer to the relevant photo under Bathroom - Walls - Cracking category 1.

Interior > Bathroom > Doors and frames > Door frame out of square

Movement in the sub-floor structure has caused this defect. Movement of the timber wall frame has occurred and as door frames are connected to the wall frame this particular door has moved out of square to the point where it does not fully shut.

Interior > Bathroom > Shower ventilation > No exhaust fan

Interior > Bathroom > Shower tiles > Missing

Water egress can cause rot to structural timber frame and sub-floor structure. Tiles should be re-applied and silicone sealant should be applied. Occurs to the shower in the laundry area.

Interior > Bathroom > Wash basin taps > Seized cold tap

Further investigation required by a licensed plumber. Occurs to the bathroom on the 1st level.

Interior > Bedroom 1 > Ceilings & cornices > Cornice damage

Movement of the sub-floor structure has created movement through the timber frame resulting in cracking to the internal plasterboard linings. Please refer to the sub-floor section of this report.

Interior > Bedroom 1 > Ceilings & cornices > Cornice corner separation/splitting

Movement of the sub-floor structure has created movement through the timber frame resulting in cracking to the internal plasterboard linings. Although this crack is minor, any crack should be monitored regularly. Refer to the sub-floor section of this report.

Interior > Bedroom 1 > Walls > Cracking - category 1

Movement of the sub-floor structure has transferred through to internal walls resulting in minor cracking to plastered finishes. Additionally, rectification works are required to the sub-floor area. Please refer to the sub-floor section of this report.

Interior > Bedroom 1 > Floors > Out of level

Interior > Bedroom 1 > Doors and frames > Door frame out of square

Movement in the sub-floor structure has caused this defect. Movement of the timber wall frame has occurred and as door frames are connected to the wall frame this particular door has moved out of square to the point where it does not fully shut.

Interior > Bedroom 2 > Ceilings & cornices > Dampness and damp damage

Cracking through roof tiles was not cited. However, some tiles require re-seating. Particular storms with enough strength may force water through these tiles that require re-seating resulting in this leak.

Interior > Bedroom 2 > Walls > Cracking - category 1

Movement of the sub-floor structure has transferred through to internal walls resulting in minor cracking to plastered finishes. Additionally, rectification works are required to the sub-floor area. Please refer to the sub-floor section of this report.

Interior > Bedroom 2 > Floors > Out of level

Interior > Bedroom 2 > Doors and frames > Door frame out of square

Movement in the sub-floor structure has caused this defect. Movement of the timber wall frame has occurred and as door frames are connected to the wall frame this particular door has moved out of square to the point where it does not fully shut.

Interior > Bedroom 3 > Ceilings & cornices > Cornice damage

Movement of the sub-floor structure has created movement through the timber frame resulting in cracking to the internal plasterboard linings. Please refer to the sub-floor section of this report.

Interior > Bedroom 3 > Walls > Cracking - category 1

Movement of the sub-floor structure has transferred through to internal walls resulting in minor cracking to plastered finishes. Additionally, rectification works are required to the sub-floor area. Please refer to the sub-floor section of this report.

Interior > Bedroom 3 > Walls > Cracking - category 2

Movement of the sub-floor structure has transferred through to internal walls resulting in minor cracking to plastered finishes. Additionally, rectification works are required to the sub-floor area. Please refer to the sub-floor section of this report.

Interior > Bedroom 3 > Floors > Out of level

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Interior > Bedroom 3 > Windows > Out of square

Timber framed windows commonly shrink and expand through the warm and cold seasons and this may be the case in this particular example. However, this defect has more probably occurred as a result of movement in the foundations and the sub-floor structure of the home. Refer to the sub-floor section of this report.

Interior > Bedroom 4 > Walls > Cracking - category 1

Movement of the sub-floor structure has transferred through to internal walls resulting in minor cracking to plastered finishes. Additionally, rectification works are required to the sub-floor area. Please refer to the sub-floor section of this report.

Interior > Bedroom 4 > Floors > Out of level

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Interior > Bedroom 4 > Windows > Window hardware defective

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Interior > Dine > Ceilings & cornices > Cornice damage

Movement of the sub-floor structure has created movement through the timber frame resulting in cracking to the internal plasterboard linings. Please refer to the sub-floor section of this report.

Interior > Dine > Floors > Out of level

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Interior > Dine > Doors and frames > Door frame out of square

Movement in the sub-floor structure has caused this defect. Movement of the timber wall frame has occurred and as door frames are connected to the wall frame this particular door has moved out of square to the point where it does not fully shut.

Interior > Games Room > Ceilings & cornices > Splitting ceiling at joint

Movement of the sub-floor structure has created movement through the timber frame resulting in cracking to the internal plasterboard linings. Refer to the sub-floor section of this report.

Interior > Kitchen > Floors > Out of level

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Interior > Kitchen > Bench top > Sealant missing

Water can pass through beyond the tile splashback causing timber rot to cabinetry and structural timber frame.

Interior > Laundry > Walls > Cracking - category 1

Movement of the sub-floor structure has transferred through to internal walls resulting in minor cracking to plastered finishes. Additionally, rectification works are required to the sub-floor area. Please refer to the sub-floor section of this report.

Interior > Laundry > Trough cabinet/cupboard > Corroded metal shelf

Previous water leaks have occurred. Plumbing has been rectified and is acceptable at this stage.

Interior > Laundry > Ventilation > No exhaust fan

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Interior > Lounge > Ceilings & cornices > Cornice damage

Movement of the sub-floor structure has created movement through the timber frame resulting in cracking to the internal plasterboard linings. Please refer to the sub-floor section of this report.

Interior > Lounge > Ceilings & cornices > Cracking

These cracks have most probably occurred due to the 1st level extension. Where additional dead or wind loads may have created movement to ceiling joists. Additionally, the movement in the sub-floor area may have also created this defect. Please refer to the sub-floor section of this report.

Interior > Lounge > Walls > Cracking - category 1

Movement of the sub-floor structure has transferred through to internal walls resulting in minor cracking to plastered finishes. Additionally, rectification works are required to the sub-floor area. Please refer to the sub-floor section of this report.

Interior > Lounge > Floors > Out of level

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Interior > Lounge > Doors and frames > Door frame out of square

Movement in the sub-floor structure has caused this defect. Movement of the timber wall frame has occurred and as door frames are connected to the wall frame this particular door has moved out of square to the point where it does not fully shut.

Interior > Passages > Walls > Cracking - category 2

Movement of the sub-floor structure has transferred through to internal walls resulting in minor cracking to plastered finishes. Additionally, rectification works are required to the sub-floor area. Please refer to the sub-floor section of this report.

Interior > Passages > Floors > Out of level

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Exterior > Rear Elevation > Walling > Cracking - category 2

Most cracks depicted fall within the Category 2 or below cracking code. All cracks have been caused by movement of foundations. These conditions are known as abnormal conditions for the concrete footings or stumps to operate in and unfortunately create cracking to internal and external brick and plasterboard linings.

At this stage underpinning to the walls shown on these photo's is not required, however, regular monitoring should take place and further assessment should take place if cracks continue to open.

Roof > Roof Exterior > Roof tiles > Capping mortar cracked

Roof tiles require re-pointing in certain locations around the roof area. Some of area's of the roof line were inaccessible, in particular the 1st level roof area.

Roof > Roof Exterior > Flashings > Flashing at chimney corroded

Rectification warranted to prevent possible leakage.

Roof > Roof Exterior > Valleys > Corrosion in valleys

Valley to the front elevation will require replacement in the near future.

Sub-Floor > Sub-Floor Space > General state of the under floor space > Rodent evidence under floor

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Sub-Floor > Sub-Floor Space > Under timber floor > Borer damage to under floor timbers

Borer damage requires treatment as borers may re-occur. No structural damage has been caused at this stage. Refer to the pest report.

Conclusions

The scope of this inspection and type of report is set out in the inspection agreement as detailed at the beginning of this report.

That agreement sets out the limitations that are contained as AS 4349.1 for residential pre-purchase inspections. Other specific limitations are also listed where applicable.

The purpose of the inspection is to provide a general overview of defects in the home.

The summary section above includes a list of major and minor defects that should be taken into account in terms of addressing the specific matters or accepting that those defects exist.

Rising damp to the sub-floor area has resulted in sub-floor masonry mortar decay. Re-pointing of mortar joints should be carried out after the rising damp issue has been rectified.

The rotting timber stumps has caused stumps to move off plumb and as a result floor bearers are not loading on the stumps. Re-stumping is required to the whole of the floor area.

Cracking throughout the internal and external linings of the home have occurred as a direct result of movement of the sub-floor structure which has been caused as a direct result of the issues described above.

The defects found at this property are comparable to other properties of the same type of construction and age.